



Inspection Report

Property Address:

455 Crow Hill Dr.
Georgetown SC 29440



Buckeye Home Inspections

**Shane Boyd RBI 1610
182 Camrose Way
Myrtle Beach, SC 29588
(843) 458-1629**

SUMMARY OF INSPECTION FINDINGS



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182 Camrose Way
Myrtle Beach, SC 29588
(843) 458-1629

Customer

Address
455 Crow Hill Dr.
Georgetown SC 29440

This summary includes items that have failed or have potential of failing soon and/or any repair or **group of repairs that can exceed \$500 in repair costs. This summary may also include safety issues that should be repaired as well.**

This Summary is not the entire report. The complete report may include additional information of concern to the customer. Items listed in this report may inadvertently have been left off the Summary Pages. **It is recommended that the customer read the complete report.**

FYI: All locations are labeled as if you are in the road facing your house.

5. EXTERIOR

5.0 WALL CLADDING AND TRIM

Maintenance Or Repairs Recommended



(1) The siding is in overall poor condition around the dining room area of home. There were multiple signs of failure, wood rot, and wood destroying pest damage. Further damage, including wood rot, framing damage, water intrusion, and increased pest damage will occur if not repaired. Recommend a licensed contractor inspect further and make all needed repairs.



(3) Much of the wood siding is deteriorated around the perimeter of home (bottom 1-2 feet) at front, rear, and sides of home. Further damage will occur if not repaired. Recommend a qualified contractor make all needed repairs or replacements.

5.1 DOORS (Exterior)

Maintenance Or Repairs Recommended



(1) The exterior doors at the dining portion of home were in overall poor condition at time of inspection. There were multiple signs of wood rot and failure during inspection. Further damage will occur if not repaired. Recommend a licensed contractor inspect further and make all needed repairs.



(3) The exterior door at the upstairs bedroom is in overall poor condition. There are holes in the door and there are signs of moisture intrusion. The door needs replaced.



(4) The exterior door leading to the dining room (at rear of home) revealed multiple signs of wood rot and moisture intrusion. Further damage will occur if not repaired. Recommend a licensed contractor make all needed repairs.



(5) The exterior door at the master bedroom revealed the following defects:

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- there was a large pet door installed
- there were multiple cracks in the wood door (door core and sides of door)
- there were signs of moisture intrusion

Recommend a qualified contractor make all needed repairs and/or replacements.

5.2 WINDOWS

Maintenance Or Repairs Recommended



(1) All of the windows at the dining room area of home were deteriorated and in poor condition. It appeared as though all the windows in the dining area were failing and need replaced. Further damage, including wood rot, water intrusion, and pest damage will occur if not repaired. Recommend a licensed contractor inspect further and make all needed repairs.



(2) The windows appear to be aged single pane glass windows. Why? Typically, homes built in the 90's had thermal insulated or dual pane glass windows.



(3) Most if not all the windows are aged and reveal wood rot and moisture damage in areas. Recommend a licensed contractor make all needed repairs and/or replacements.

5.3 GARAGE DOOR(S)

Not Functioning as Intended



The following defects were visible with the garage door at time of inspection:

- the door was sagging and weak
- the door was split at the top middle of door
- the door was misaligned or crooked

The garage door is not safe to use in its current condition. Recommend a qualified contractor make all needed repairs.

5.5 DECKS, BALCONIES, STOOPS, STEPS, AREAWAYS, PORCHES AND APPLICABLE RAILINGS

Maintenance Or Repairs Recommended



(1) The following defects were visible at the deck at rear and sides of home at time of inspection:

- there is heavy moss/algae growth in areas
- the decking boards are unlevel leaving tripping hazards
- there are multiple signs of moisture damage/wood rot to the structure under the deck
- multiple decking boards were heavily weathered and beginning to fail
- much of the deck was covered by tree debris and not visible
- the steps were unlevel and deteriorated in areas
- there is no handrail at the ramp

Recommend a licensed contractor make all needed repairs and replacements.



(2) The balcony at the upstairs bedroom is weak and failing. The pickets were missing in areas or were too wide, and the overall structure was weak and appeared to be pulling away from the home. Further damage, including failure, could occur if not repaired. Recommend a qualified professional make needed repairs and replacements.



(3) The porch overhang at the left rear of home appeared to be in overall poor condition. There were signs of wood rot and failure in areas. Recommend a qualified contractor inspect further and make all needed repairs or replacements.



(4) The floor at the front porch is unlevel. It's high in the middle and sags at the sides. This negatively affects the door as well. Recommend a qualified professional make needed repairs.

5.6 VEGETATION, GRADING, DRAINAGE, DRIVEWAYS, PARKING LOTS, WALKWAYS, DECORATIVE WALLS AND RETAINING WALLS

Maintenance Or Repairs Recommended




(1) There is a negative slope towards left side of house (facing front). This area does not appear to drain water away from home and needs landscaping and drainage corrected. Further damage, including water intrusion and wood rot could occur if not repaired.




(3) The retaining wall at the right side of driveway reveal multiple signs of failure. It appears the retaining wall has collapsed. Further damage will occur if not repaired. Recommend a qualified

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-  professional make all needed repairs.
(4) The landscape walkway at front of home is unlevel leaving multiple tripping hazards. Recommend repair.



5.8 FENCES

Maintenance Or Repairs Recommended

-  The fence at the driveway, leading up to the home, is in overall poor condition and needs replaced.

5.9 GARAGE


Maintenance Or Repairs Recommended

-  (1) There are multiple signs of active water intrusion in the garage. (Visible from the moisture stains on the wall sheathing). Recommend a qualified contractor make needed repairs.
-  (2) The concrete inside the garage is heavily cracked and unlevel. The overall quality of work for the concrete appears amateur. Recommend a qualified contractor make all needed repairs.

6. STRUCTURAL COMPONENTS



6.0 FOUNDATIONS

Maintenance Or Repairs Recommended

-  There are visible signs of active water intrusion in the accessible areas of the crawlspace. Water intrusion can cause deterioration and excessive moisture on building components if not corrected. Recommend further investigation or correction by a qualified licensed contractor.



6.2 COLUMNS OR PIERS

Maintenance Or Repairs Recommended

-  (1) The visible piers under the rear of home appears unlevel and weak in areas. The added piers were unlevel. The footings under some of the piers have failed in the visible areas. Recommend a qualified structural engineer evaluate further and make all further recommendations and repairs.
-  (2) Most if not all the visible piers under the home were unlevel or leaning at time of inspection. This will cause further issues to the home if not repaired. Recommend a structural engineer evaluate the home further and make all further recommendations and repairs.

6.3 FLOORS (Structural)

Maintenance Or Repairs Recommended

-  (1) The floors are unlevel under all rooms. However, the floor downstairs sag in multiple areas. It appears the floor is high in the center and low/sagging at the left and right sides of home. The floors are sloped and spongy in areas indicating possible failure. Further damage will occur if not repaired. Recommend a structural engineer evaluate the home further and make all further recommendations and repairs.
-  (2) The floors appear to be improperly supported in areas. Additional piers may be needed to maintain structural integrity.

6.6 CRAWLSPACE ACCESS



Maintenance Or Repairs Recommended

-  The crawlspace access is poor. Most of the crawlspace is not accessible (especially under the living room/kitchen areas of the home).

7. INSULATION AND VENTILATION

7.0 INSULATION AND VAPOR RETARDERS (in unfinished spaces)

Maintenance Or Repairs Recommended

-  (1) Floor system is not insulated. Heat loss can occur more on this home than one that is properly insulated.
-  (2) Vapor barrier (plastic) on crawlspace ground is missing. A vapor barrier provides added protection to floor system from moisture or dampness that can enter from ground. A qualified contractor should

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inspect and repair as needed.

7.1 VENTILATION OF ATTIC AND FOUNDATION AREAS

Maintenance Or Repairs Recommended



(1) The crawlspace areas were poorly vented at time of inspection. Without an encapsulation or adequate ventilation the crawlspace will be wet and conducive to mold growth and other moisture issues. Recommend a qualified professional make needed repairs.

8. PLUMBING SYSTEM

8.0 INTERIOR DRAIN, WASTE AND VENT SYSTEMS

Maintenance Or Repairs Recommended



(1) There is an active drain line leak at the upstairs bathroom sink. (Hallway sink). Recommend a plumber repair.



(5) The drain line at the sink at upstairs bathroom was improperly installed. (The drain line was heavily caulked) The overall quality of work appears amateur. Recommend a plumber make needed repairs.



(7) There was an active drain line leak under the 1/2 bathroom downstairs. Recommend a plumber make needed repairs.

8.1 INTERIOR WATER SUPPLY AND DISTRIBUTION SYSTEMS AND FIXTURES

Maintenance Or Repairs Recommended



(1) The upstairs bathroom shower is heavily cracked and failing in areas. The shower may need replaced to prevent possible water seepage or failure. Recommend a licensed plumber make all needed repairs and/or replacements.



(2) The water pressure was poor at most if not all plumbing fixtures at time of inspection. Why? Recommend a plumber inspect further and make needed repairs.

8.2 HOT WATER SYSTEMS

Maintenance Or Repairs Recommended



(1) The water heater was operational at time of inspection. However, the bottom of the unit was heavily rusted. It appears the water heater was manufactured in 2012. Typical water heaters last around 10 years. The water heater may need replaced now.

9. ELECTRICAL SYSTEMS

9.1 SERVICE AND GROUNDING EQUIPMENT, MAIN OVERCURRENT DEVICE, MAIN AND DISTRIBUTION PANELS

Maintenance Or Repairs Recommended



(1) Problem(s) discovered in outside 125 amp electric service panel near the dining room entry door such as **Doubled wiring at circuit(s), labels are missing or confusing, there were a lot of bugs and nests inside panel**, and any other problems that an electrician may discover while performing repairs should be corrected. Recommend a licensed electrician inspect further and correct as needed.



(2) The following defects were visible at the electric distribution panel at the exterior left rear of dining room portion of home:

- double wiring at circuits
- dead front cover panel is heavily bent and does not fit the panel properly leaving contacts exposed
- circuits were not labeled or identified
- bugs and bug nests inside panel

Recommend an electrician inspect further and make all needed repairs.



(3) The circuits in the electric distribution panel near the electric meter were no labeled at time of inspection. Recommend repair.



(4) The circuits at the 125 amp electric distribution panel in the laundry room were not labeled or

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identified and the electric panel had poor access. Recommend repair.



(5) The following defects were visible at the 200 amp electric distribution panel in the kitchen pantry:

- the location was poor (it was too low for safety)
- it had inadequate access
- the dead front cover was missing leaving all the contacts exposed
- the circuits were not labeled or identified
- there were exposed wires below the panel

Recommend a licensed electrician inspect further and make all needed repairs now for safety.

9.3 ELECTRICAL DEVICES AND FIXTURES

Maintenance Or Repairs Recommended



(3) Receptacle outlets are loose in wall at most if not all rooms of subject property. This is not uncommon with heavy use. However, a qualified person should repair.



(4) There are multiple exposed wires visible in the garage. Recommend an electrician repair for safety.



(5) There are multiple exposed and abandoned wires at the upstairs bedroom. Recommend an electrician make needed repairs for safety.



(6) There were multiple exposed wires and a loose electric receptacle under the kitchen sink. Recommend an electrician repair.



(7) There are exposed wires under the gas cooktop in kitchen. Recommend an electrician repair.

9.4 POLARITY AND GROUNDING

Maintenance Or Repairs Recommended



Multiple electric receptacles throughout the home revealed open grounds and reversed polarity when tested. Why? Recommend an electrician inspect further and make all needed repairs and/or replacements.

9.5 OPERATION OF GFCI (GROUND FAULT CIRCUIT INTERRUPTERS)

Maintenance Or Repairs Recommended



(1) The exterior electric receptacles (including in the garage) are not GFCI protected electric receptacles. Recommend an electrician repair.



(2) The electric receptacles in the master bathroom and 1/2 bathroom downstairs were not GFCI protected. Recommend an electrician repair.

9.7 SMOKE DETECTORS

Maintenance Or Repairs Recommended



(1) The home did not have a working smoke alarm installed. Most of the smoke alarms were missing. Recommend an electrician repair.

10. AIR CONDITIONING

10.0 HEAT PUMP/AIR CONDITIONING

Informational, Maintenance Or Repairs Recommended



(1) The package heat pump was operational at time of inspection. However, the unit did not reveal signs of recent maintenance or service. Heat pumps should be serviced 2 times a year by a licensed HVAC technician. Recommend an HVAC technician service the unit now.



(3) The 2 ton heat pump was operational. There were no obvious signs of major defects at time of inspection. Heat pumps should be serviced 2 times a year by a licensed HVAC technician. Recommend a licensed HVAC technician service the heat pump now.

11. HEATING

11.0 HEATING/COOLING EQUIPMENT

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Maintenance Or Repairs Recommended



(2) The heating system in the laundry room was operational at time of inspection. However, the unit did not reveal signs of maintenance or service at time of inspection. Heating systems should be cleaned and serviced 2 times a year by a licensed HVAC technician. Recommend an HVAC technician inspect and service the heating system now.

11.2 CHIMNEYS, FLUES AND VENTS

Maintenance Or Repairs Recommended



(1) The chimney for the gas fireplace in the master bedroom has inadequate clearance. The fireplace is not safe to use in its current condition. Recommend a qualified gas technician or fireplace technician inspect further and make all needed repairs.

11.4 HEAT/COOL DISTRIBUTION SYSTEMS

Maintenance Or Repairs Recommended



(2) The HVAC ducts are not visible. They are located in the crawlspace in areas and in the attic. There were no access to the HVAC ducts. The ducts that were visible were losing air at connections and kinked. Recommend an HVAC technician inspect further and make all further recommendations and repairs.

12. INTERIORS

12.1 WALLS

Maintenance Or Repairs Recommended



(1) The interior walls revealed the following non-cosmetic defects at time of inspection:

- there were multiple cracks in the sheetrock at all rooms indicating structural movement
- multiple walls were sagging or unlevel indicating structural movement

Recommend a structural engineer evaluate the home further and make all further recommendations and repairs.

12.5 WINDOWS (REPRESENTATIVE NUMBER)

Maintenance Or Repairs Recommended



(1) The locks were missing at all windows. Why? Recommend repair.



(3) Most if not all windows were screwed shut. One cannot open the windows without first removing the screws. This is preventing adequate egress. Recommend a qualified professional repair.



(4) Most if not all the windows were stuck or painted shut. I was unable to open any of the windows during the inspection. Recommend repair.

12.7 SIGNS OF POSSIBLE FUNGAL GROWTH

Maintenance Or Repairs Recommended



There are multiple signs of possible mold on most if not all surface of the home. I did not test to determine if the possible mold was toxic or a health hazard. Recommend a qualified mold cleaning professional inspect further and make all needed repairs.

13. BUILT-IN KITCHEN APPLIANCES

13.1 RANGES/OVENS/COOKTOPS

Maintenance Or Repairs Recommended



(1) The cooktop did not turn on at time of inspection. Why? Recommend repair.

13.4 MICROWAVE COOKING EQUIPMENT

Maintenance Or Repairs Recommended



The microwave was operational. However, the unit was poorly installed. It was crooked and appeared to be poorly mounted. Recommend repair or replace.

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13.5 REFRIGERATOR

Maintenance Or Repairs Recommended



The freezer was full of ice indicating the defrost cycle was not working. Recommend a qualified professional repair or replace.

Buckeye Home Inspections Recommends That All Home Buyers Get A Home Warranty. Please Check With Your Realtor To Learn The Details.

You should have a licensed pest control specialist inspect the home further prior to purchase.

This inspection and report is performed and prepared for the use of client (whose name is on the report). Inspector accepts no responsibility for use or misinterpretation by third parties. Inspector's inspection of the property and the accompanying report are in no way intended to be a guarantee or warranty, express or implied, regarding the future use, operability, habitability or suitability of the home/building or its components.

Prepared Using HomeGauge <http://www.HomeGauge.com> : Licensed To Shane Boyd

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General Info

Property Address

455 Crow Hill Dr.
Georgetown SC 29440

Date of Inspection

12/4/2023

Report ID**Customer(s)****Time of Inspection**

11:04 AM

Real Estate Agent

Inspection Details

Style of Property:

Detached Single Family

Age Of Property:

Over 30 Years

People Present for Inspection:

Grounds Keeper and Cleaning Crew

Weather:

Cloudy

Temperature:

Over 60

Rain in last 3 days:

Yes

Comment Key & Definitions

Mr. :

At your request, an inspection of the above property was performed. Buckeye Home Inspections is pleased to submit the rendered report. This report is a professional opinion based on a visual inspection of the accessible components of the property. This report is not an exhaustive technical evaluation.

This inspection was performed for the home owner selling this home and was inspected according to standards and practices. The comments made in this report were based on the condition of the home at time of inspection. There is no warranty from the inspection company. For a fee, our company can return and review the inspection, or inspect the home again. The proposed buyer can hire a different inspector if desired. Different inspectors can find different things sometimes on the same home. My inspection company is not responsible for any discoveries included or not found. As this inspection report ages, the condition of this home and its components can change.

This home is considered a "fixer upper." The home inspection is limited to what can be inspected in regards to floor and wall coverings and general cosmetics. You should be aware of obvious areas that need prep and paint, or replacement of coverings. These items represent the overall condition of home. The inspection of main components is the purpose of this inspection. Components such as structure, roof, plumbing, heating and electrical are main components. Utilities must be on for inspection of these areas.

This home is older than 30 years and the home inspector considers this while inspecting. It is common to have areas that no longer comply with current code. This is not a new home and this home cannot be expected to meet current code standards. While this inspection makes every effort to point out safety issues, it does not inspect for code. It is common that homes of any age will have had repairs performed and some repairs may not be in a workmanlike manner. Some areas may appear less than standard. This inspection looks for items that are not functioning as intended. It does not grade the repair. It is common to see old plumbing or mixed materials. Sometimes water signs in crawlspaces or basements could be years old from a problem that no longer exists. Or, it may still need further attention and repair. Determining this can be difficult on an older home. Sometimes in older homes there are signs of damage to wood from wood eating insects. Having this is typical and fairly common. If the home inspection reveals signs of damage you should have a pest control company inspect further for activity and possible hidden damage. The home inspection does not look for possible manufacturer re-calls on components that could be in this home. Always consider hiring the

appropriate expert for any repairs or further inspection.

You are advised to seek two professional opinions and acquire estimates of repair as to any defects, comments, improvements or recommendations mentioned in this report. We recommend that the professional making any repairs inspect the property further, in order to discover and repair related problems that were not identified in the report. We recommend that all repairs, corrections, and cost estimates be completed and documented prior to closing or purchasing the property. Feel free to hire other professionals to inspect the property prior to closing, including HVAC professionals, electricians, engineers and roofers.

Please understand that there are limitations to this inspection. Many components of the property are not visible during the inspection and very little historical information is provided in advance of the inspection. While the inspector can reduce your risk of purchasing a property, the inspector cannot eliminate it, nor can the inspector assume it. Even the most comprehensive inspection cannot be expected to reveal every condition you may consider significant to ownership.

Your attention is directed to your copy of the Property Inspection Contract. It more specifically explains the scope of inspection and the limit of our liability in performing this inspection. The Standards of Practice and Code of Ethics of the American Society of Home Inspectors (ASHI) prohibit us from making any repairs or referring any contractors. Buckeye Home Inspections is not associated with any party to the transaction of this property, except as may be disclosed to you.

Thank you for choosing Buckeye Home Inspections

Sincerely,

Shane Boyd

Buckeye Home Inspections

Comment Key or Definitions

The following definitions of comment descriptions represent this inspection report. All comments by the inspector should be considered before purchasing this home. Any recommendations by the inspector to repair or replace suggests a second opinion or further inspection by a qualified contractor. All costs associated with further inspection fees and repair or replacement of item, component or unit should be considered before you purchase the property.

No Major Defects Visible = I visually observed the item, component or unit and if no other comments were made then it appeared to be functioning as intended allowing for normal wear and tear.

Not Inspected (NI) = I did not inspect this item, component or unit and made no representations of whether or not it was functioning as intended and will state a reason for not inspecting.

Not Present (NP) = This item, component or unit is not in this home or building.

Not Functioning as Intended (NF) = The item, component or unit is not functioning as intended or needs further inspection by a qualified contractor. Items, components or units that can be repaired to satisfactory condition may not need replacement.

Maintenance or Repairs Recommended (MR) = The item, component or unit needs maintenance, serviced, repaired. Or it needs further inspection by a qualified contractor. Items, components or units that can be repaired to satisfactory condition may not need replacement. Some of these items may be categorized as "normal home owner's maintenance". Some of these items may also be general wear and tear of a component or unit.

Monitor (M) = The component is in marginal condition and/or nearing the end of its service life. Recommend monitoring to determine if or when corrective action is needed. Repair or replacement at this time is considered optional.

1. OVERVIEW OF HOME

THE PROPERTY IN PERSPECTIVE

This is poorly maintained two story single family home over 30 years old. The home appears to have multiple additions or modifications. There were multiple major defects with the home's structure components, exterior wall coverings, windows, doors, electrical systems/components and plumbing systems/components.

Due to the amount of damage visible in the home, you should have a qualified structural engineer and licensed builder/general contractor inspect the home further and make all further recommendations and repairs.

Items

1.0 OVERVIEW of HOME
Informational

2. GENERAL LIMITATIONS AND EXCLUSIONS

General limitations:

- A. The inspector is NOT required to perform any action or make any determination not specifically stated in these Standards of Practice.
- B. Inspections performed in accordance with these Standards of Practice :
 - 1. are not technically exhaustive.
 - 2. are not required to identify concealed conditions, latent defects, or consequential damage(s).
- C. These Standards of Practice are applicable to buildings with four or fewer dwelling units and their garages or carports.

13.2 General exclusions:

- A. Inspectors are not required to determine:
 - 1. conditions of systems or components that are not readily accessible.
 - 2. remaining life expectancy of any system or component.
 - 3. strength, adequacy, effectiveness, or efficiency of any system or component.
 - 4. the causes of any condition or deficiency.
 - 5. methods, materials, or costs of corrections.
 - 6. future conditions including, but not limited to, failure of systems and components.
 - 7. the suitability of the property for any specialized use.
 - 8. compliance with regulatory requirements (codes, regulations, laws, ordinances, etc.).
 - 9. market value of the property or its marketability.
 - 10. the advisability of purchase of the property.
 - 11. the presence of potentially hazardous plants or animals including, but not limited to wood destroying organisms or diseases harmful to humans including molds or mold-like substances.
 - 12. the presence of any environmental hazards including, but not limited to toxins, carcinogens, noise, and contaminants in soil, water, and air.
 - 13. the effectiveness of any system installed or method utilized to control or remove suspected hazardous substances.
 - 14. operating costs of systems or components.
 - 15. acoustical properties of any system or component.
 - 16. soil conditions relating to geotechnical or hydrologic specialties.
- B. Inspectors are NOT required to offer:
 - 1. or perform any act or service contrary to law.
 - 2. or perform engineering services.
 - 3. or perform work in any trade or any professional service other than home inspection.
 - 4. warranties or guarantees of any kind.
- C. Inspectors are NOT required to operate:
 - 1. any system or component that is shut down or otherwise inoperable.
 - 2. any system or component that does not respond to normal operating controls.
 - 3. shut-off valves or manual stop valves.
- D. Inspectors are NOT required to enter:
 - 1. any area that will, in the opinion of the inspector, likely be dangerous to the inspector or other persons or damage the property or its systems or components.
 - 2. under-floor crawl spaces or attics that are not readily accessible.
- E. Inspectors are NOT required to inspect:
 - 1. underground items including, but not limited to underground storage tanks or other underground indications of their presence, whether abandoned or active.
 - 2. items that are not installed.
 - 3. installed decorative items.
 - 4. items in areas that are not entered in accordance with 13.2.D.
 - 5. detached structures other than garages and carports.
 - 6. common elements or common areas in multi-unit housing, such as condominium properties or cooperative housing.
- F. Inspectors are NOT required to:
 - 1. perform any procedure or operation that will, in the opinion of the inspector, likely be dangerous to the inspector or other persons or damage the property or its systems or components.
 - 2. describe or report on any system or component that is not included in these Standards and was not inspected.
 - 3. move personal property, furniture, equipment, plants, soil, snow, ice, or debris.
 - 4. dismantle any system or component, except as explicitly required by these Standards of Practice.

Items

3. STANDARDS OF PRACTICE/SCOPE OF WORK

The standards of practice for a South Carolina Home Inspector can be found at this web link: <http://www.ashi.org/documents/pdf/standards.pdf>

Items

4. ROOFING

There are a wide variety of metal roofs. The commonest of these roofs are warranted by manufacturers to last from twenty to twenty-five years, and are typically guaranteed against leaks by the installer for three to five years. The actual life of the roof will vary, depending on a number of interrelated factors besides the quality of the material and the method of installation. Regular maintenance will certainly extend the life of any roof, and will usually avert most leaks that only become evident after they have caused other damage.

Styles & Materials

ROOF COVERING: METAL	VIEWED ROOF COVERING FROM: GROUND LADDER WINDOWS	CHIMNEY (exterior): METAL FLUE PIPE
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Items

4.0 ROOF COVERINGS

Informational, Maintenance Or Repairs Recommended

- (1) Much of the roof covering was covered with tree debris. Recommend a qualified professional remove all the debris from the roof covering.
- (2) Overall, the roof covering installation appears amateur. The roof covering was heavily rusted, there were signs of possible roof flashing issues, and there were signs of roof leaks in areas. Recommend a licensed roofing contractor inspect further and make all needed repairs.





4.1 FLASHINGS

Informational

(1) The roof flashing and window flashing for a home are not always visible and readily accessible. In most cases the flashing is concealed and cannot be viewed. The inspector makes every attempt to inspect the flashings in a home. Future owner should monitor these flashing areas and maintain them properly to avoid costly repairs. If leaks occur at flashing areas, a licensed roofing contractor should inspect further and repair as needed.

(2) All of the roof flashing should be replaced when the roof covering is replaced.

4.2 SKYLIGHTS, CHIMNEYS AND ROOF PENETRATIONS

Maintenance Or Repairs Recommended

(1) Plumbing vent pipes need caulking around perimeters of pipe and boot where boot flanges has failed.

(2) All roof penetrations should be inspected annually to ensure proper operation and to prevent leaks from occurring. Should cracking or damage occur to roof penetrations, then a qualified contractor should inspect and repair as needed.

4.3 ROOFING DRAINAGE SYSTEMS

Not Present

FYI: Subject home does not have gutters installed. Gutters are recommended to help detour water away from home.

4.4 SIGNS OF ACTIVE ROOF LEAKS

Maintenance Or Repairs Recommended

There are signs of active roof leaks above the package heat pump and in the kitchen. Recommend a licensed roofing contractor inspect the roof further and make needed repairs or replacements.



Even though the roof of the home was inspected and reported on with the above information, **You should have a licensed roofing contractor inspect the roof further prior to purchase.** While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Roof coverings and skylights can appear to be leak proof during inspection and weather conditions. Our inspection makes an attempt to find a leak but sometimes cannot. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

The inspector is NOT required to inspect:

- A. antennae.
- B. interiors of flues or chimneys that are not readily accessible.
- C. other installed accessories.

5. EXTERIOR

It is important to maintain a property, including painting or sealing walkways, decks, and other hard surfaces, and it is particularly important to keep the house walls sealed, which provide the only barrier against deterioration. Unsealed cracks around windows, doors, and thresholds can permit moisture intrusion, which is the principle cause of the deterioration of any surface. Unfortunately, the evidence of such intrusion may only be obvious when it is raining. We have discovered leaking windows while it was raining that may not have been apparent otherwise. Regardless, there are many styles of windows but only two basic types, single and dual-glazed. Dual-glazed windows are superior, because they provide a thermal as well as an acoustical barrier. However, the hermetic seals on these windows can fail at any time, and cause condensation to form between the panes. Unfortunately, this is not always apparent, which is why we disclaim an evaluation of hermetic seals. Nevertheless, in accordance with industry standards, we test a representative number of unobstructed windows, and ensure that at least one window in every bedroom is operable and facilitates an emergency exit.

Water can be destructive and foster conditions that are deleterious to health. For this reason, the ideal property will have soils that slope away from the residence and the interior floors will be several inches higher than the exterior grade. Also, the residence will have roof gutters and downspouts that discharge into area drains with catch basins that carry water away to hard surfaces. However, I cannot guarantee the condition of any subterranean drainage system, but if a property does not meet this ideal, or if any portion of the interior floor is below the exterior grade, I cannot endorse it and recommend that you consult with a grading and drainage contractor, even though there may not be any evidence of moisture intrusion. Our site visit is limited, and the sellers or occupants will obviously have a more intimate knowledge of the site than I could possible hope to have, but I have confirmed moisture intrusion in residences when it was raining that would not have been apparent otherwise. Also, in conjunction with the cellulose material found in most modern homes, moisture can facilitate the growth of biological organisms that can compromise building materials and produce mold-like substances that are deleterious to health.

Styles & Materials		
SIDING STYLE: LAP	SIDING MATERIAL: AGED WOOD	EXTERIOR ENTRY DOORS: WOOD STEEL
APPURTENANCE: BALCONY	AUTO OPENER MANUFACTURER: LIFT-MASTER	GARAGE DOOR MATERIAL: METAL
GARAGE DOOR TYPE: ONE AUTOMATIC	DRIVEWAY: GRAVEL DIRT	

Items

5.0 WALL CLADDING AND TRIM

Maintenance Or Repairs Recommended



(1) The siding is in overall poor condition around the dining room area of home. There were multiple signs of failure, wood rot, and wood destroying pest damage. Further damage, including wood rot, framing damage, water intrusion, and increased pest damage will occur if not repaired. Recommend a licensed contractor inspect further and make all needed repairs.





(2) **FYI:** A board by board, brick by brick examination of the exterior siding is outside the scope of a home inspection and that type of examination was not conducted at the time of inspection.



(3) Much of the wood siding is deteriorated around the perimeter of home (bottom 1-2 feet) at front, rear, and sides of home. Further damage will occur if not repaired. Recommend a qualified contractor make all needed repairs or replacements.



5.1 DOORS (Exterior)

Maintenance Or Repairs Recommended



(1) The exterior doors at the dining portion of home were in overall poor condition at time of inspection. There were multiple signs of wood rot and failure during inspection. Further damage will occur if not

repaired. Recommend a licensed contractor inspect further and make all needed repairs.



(2) You should have a qualified locksmith replace all the exterior door locks after closing.



(3) The exterior door at the upstairs bedroom is in overall poor condition. There are holes in the door and there are signs of moisture intrusion. The door needs replaced.



- 🏠 (4) The exterior door leading to the dining room (at rear of home) revealed multiple signs of wood rot and moisture intrusion. Further damage will occur if not repaired. Recommend a licensed contractor make all needed repairs.



- 🏠 (5) The exterior door at the master bedroom revealed the following defects:
- there was a large pet door installed
 - there were multiple cracks in the wood door (door core and sides of door)
 - there were signs of moisture intrusion


Recommend a qualified contractor make all needed repairs and/or replacements.





5.2 WINDOWS

Maintenance Or Repairs Recommended

-  (1) All of the windows at the dining room area of home were deteriorated and in poor condition. It appeared as though all the windows in the dining area were failing and need replaced. Further damage, including wood rot, water intrusion, and pest damage will occur if not repaired. Recommend a licensed contractor inspect further and make all needed repairs.





- 🏠 (2) The windows appear to be aged single pane glass windows. Why? Typically, homes built in the 90's had thermal insulated or dual pane glass windows.
- 🏠 (3) Most if not all the windows are aged and reveal wood rot and moisture damage in areas. Recommend a licensed contractor make all needed repairs and/or replacements.



5.3 GARAGE DOOR(S)

Not Functioning as Intended

- 🏠 The following defects were visible with the garage door at time of inspection:
- the door was sagging and weak
 - the door was split at the top middle of door
 - the door was misaligned or crooked


The garage door is not safe to use in its current condition. Recommend a qualified contractor make all needed repairs.



5.4 GARAGE DOOR OPERATORS**Not Inspected**

Due to the unsafe condition of the garage door, I did not test the garage door opener during the inspection.

5.5 DECKS, BALCONIES, STOOPS, STEPS, AREAWAYS, PORCHES AND APPLICABLE RAILINGS**Maintenance Or Repairs Recommended**

-  (1) The following defects were visible at the deck at rear and sides of home at time of inspection:
- there is heavy moss/algae growth in areas
 - the decking boards are unlevel leaving tripping hazards
 - there are multiple signs of moisture damage/wood rot to the structure under the deck
 - multiple decking boards were heavily weathered and beginning to fail
 - much of the deck was covered by tree debris and not visible
 - the steps were unlevel and deteriorated in areas
 - there is no handrail at the ramp

Recommend a licensed contractor make all needed repairs and replacements.











- 🏠 (2) The balcony at the upstairs bedroom is weak and failing. The pickets were missing in areas or were too wide, and the overall structure was weak and appeared to be pulling away from the home. Further damage, including failure, could occur if not repaired. Recommend a qualified professional make needed repairs and replacements.





(3) The porch overhang at the left rear of home appeared to be in overall poor condition. There were signs of wood rot and failure in areas. Recommend a qualified contractor inspect further and make all needed repairs or replacements.



- 🏠 (4) The floor at the front porch is unlevel. It's high in the middle and sags at the sides. This negatively affects the door as well. Recommend a qualified professional make needed repairs.



5.6 VEGETATION, GRADING, DRAINAGE, DRIVEWAYS, PARKING LOTS, WALKWAYS, DECORATIVE WALLS AND RETAINING WALLS

Maintenance Or Repairs Recommended

- 🏠 (1) There is a negative slope towards left side of house (facing front). This area does not appear to drain water away from home and needs landscaping and drainage corrected. Further damage, including water intrusion and wood rot could occur if not repaired.




(2) **FYI:** Inclement weather conditions resulting in higher than normal water conditions must be present at time of this inspection to verify adequate drainage at all areas around the foundation. Problems with landscape materials in close proximity to the structure are reported only if adverse conditions or substantial safety issues are present.

- 🏠 (3) The retaining wall at the right side of driveway reveal multiple signs of failure. It appears the retaining wall has collapsed. Further damage will occur if not repaired. Recommend a qualified professional make all

needed repairs.





-  (4) The landscape walkway at front of home is unlevel leaving multiple tripping hazards. Recommend repair.



- (5) Tree limbs that are in contact with roof or hanging near roof should be trimmed.




(6) Trees that are within 10 feet of the home should be monitored or considered for removal. The roots of these trees can cause severe damage to the foundation if left unnoticed. A certified Arborist should inspect the trees regularly to ensure no damage occurs to home.


5.7 EAVES, SOFFITS AND FASCIAS**Maintenance Or Repairs Recommended**

The soffits were weathered and revealed signs of moisture damage in the corners. Further damage may occur if not repaired. Recommend repair as/if needed.


5.8 FENCES**Maintenance Or Repairs Recommended**

 The fence at the driveway, leading up to the home, is in overall poor condition and needs replaced.

**5.9 GARAGE****Maintenance Or Repairs Recommended**

 (1) There are multiple signs of active water intrusion in the garage. (Visible from the moisture stains on the wall sheathing). Recommend a qualified contractor make needed repairs.



-  (2) The concrete inside the garage is heavily cracked and unlevel. The overall quality of work for the concrete appears amateur. Recommend a qualified contractor make all needed repairs.



(3) General pictures of the interior of garage.





The exterior of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

The inspector is NOT required to inspect:

- A. screening, shutters, awnings, and similar seasonal accessories.
- B. fences.
- C. geological and/or soil conditions.
- D. recreational facilities.
- E. outbuildings other than garages and carports.
- F. seawalls, break-walls, and docks.
- G. erosion control and earth stabilization measures.

6. STRUCTURAL COMPONENTS

All structures depend on the soil under them for support, but soil is not uniform. Some soils can expand to twice their original volume with the influx of water and move structures with relative ease, raising and lowering them fracturing slabs and other concrete surfaces. Expansive soils have accounted for more structural damage than most natural disasters. Regardless, foundations are not uniform, and conform to the structural standard of the year they were built. In accordance with South Carolina's standards of practice, we identify foundation types and look for any evidence of structural deficiencies. However, cracks or deteriorated surfaces in foundations are common. In fact it is rare to find foundation that was not cracked or deteriorated in some way, or a slab foundation that did not have some cracks concealed under the carpeting. Most of these cracks are related to the curing process or common settling, including some wide ones that generally contour the footings, but others could be more structurally significant and reveal the presence of expansive soils which can cause continual movement. I will certainly report any suspicious cracks if they are visible at this inspection.


It is recommended that a licensed exterminator inspect the subject home for the presence of possible wood destroying organisms. It is not standard practice for a South Carolina licensed home inspector to report on the presence of wood destroying organisms. However, I do make every attempt to locate signs of possible infestation. Wood destroying organisms can cause severe damage to a home that may go unnoticed until it is too late.

Styles & Materials		
FOUNDATION: WOOD UNDERPINNING	METHOD USED TO OBSERVE CRAWLSPACE: FROM ENTRY CRAWLED LIMITED ACCESS	FLOOR STRUCTURE: 2 X 8 2 X 10 WOOD JOISTS
WALL STRUCTURE: NOT VISIBLE	COLUMNS OR PIERS: WOOD PIERS MASONRY BLOCK	CEILING STRUCTURE: NOT VISIBLE
ROOF STRUCTURE: NOT VISIBLE	ROOF-TYPE: GABLE	METHOD USED TO OBSERVE ATTIC: INACCESSIBLE

Items

6.0 FOUNDATIONS

Maintenance Or Repairs Recommended

-  There are visible signs of active water intrusion in the accessible areas of the crawlspace. Water intrusion can cause deterioration and excessive moisture on building components if not corrected. Recommend further investigation or correction by a qualified licensed contractor.




6.1 WALLS (Structural)

MONITOR


Due to the excess wood rot around windows and on the siding, you should expect to make repairs to the wall structure as well.

6.2 COLUMNS OR PIERS

Maintenance Or Repairs Recommended

-  (1) The visible piers under the rear of home appears unlevel and weak in areas. The added piers were unlevel. The footings under some of the piers have failed in the visible areas. Recommend a qualified structural engineer evaluate further and make all further recommendations and repairs.





-  (2) Most if not all the visible piers under the home were unlevel or leaning at time of inspection. This will cause further issues to the home if not repaired. Recommend a structural engineer evaluate the home further and make all further recommendations and repairs.



6.3 FLOORS (Structural)

Maintenance Or Repairs Recommended

-  (1) The floors are unlevel under all rooms. However, the floor downstairs sag in multiple areas. It appears the floor is high in the center and low/sagging at the left and right sides of home. The floors are sloped and spongy in areas indicating possible failure. Further damage will occur if not repaired. Recommend a structural engineer evaluate the home further and make all further recommendations and repairs.
-  (2) The floors appear to be improperly supported in areas. Additional piers may be needed to maintain structural integrity.



6.4 CEILINGS (structural)**Informational**

Walls and ceilings are covered and structural members are not visible. No obvious problems discovered. We could not see behind these coverings.

6.5 ROOF STRUCTURE AND ATTIC**Not Inspected**

There is no attic access. Therefore I was unable to visually examine the roof structure.

6.6 CRAWLSPACE ACCESS**Maintenance Or Repairs Recommended**

-  The crawlspace access is poor. Most of the crawlspace is not accessible (especially under the living room/ kitchen areas of the home).



The structure of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report. The *inspector* is NOT required to provide any *engineering* or architectural service or analysis.

- A. offer an opinion as to the adequacy of any *structural system* or *component*

7. INSULATION AND VENTILATION


Attic ventilation is important in South Carolina to help keep your home cooler in the summer and warm in the winter. Temperatures in a un-vented or poorly vented attic can reach over 150 degrees. The insulation in the attic is a barrier between extreme heat and cold. The amount of insulation determines the resistance which is necessary to keep the home at a comfortable temperature. Generally 10 to 12 inches of a blown cellulose or fiberglass batt insulation will provide this resistance value. Most homes we inspect do not have the sufficient amount of insulation present. The current building standard is 10 inches, but when settlement occurs after installation we find 6 to 8 inches present with a cellulose product. Adding additional insulation is rather inexpensive, and if the inspector recommends you add additional insulation it is just for the purpose of saving you money in energy costs. A home with no insulation will stay cool if the air conditioner runs almost continually. Then again, a home with twice the amount normally installed, the cooling and heating system will operate even less than normal, saving you money in the long run.

Styles & Materials		
ATTIC INSULATION: UNKNOWN	R- VALUE: UNKNOWN	VENTILATION: RIDGE VENTS
EXHAUST FAN TYPES: FAN ONLY	DRYER POWER SOURCE: 220 ELECTRIC	DRYER VENT: FLEXIBLE METAL


Items

7.0 INSULATION AND VAPOR RETARDERS (in unfinished spaces)

Maintenance Or Repairs Recommended

-  (1) Floor system is not insulated. Heat loss can occur more on this home than one that is properly insulated.



-  (2) Vapor barrier (plastic) on crawlspace ground is missing. A vapor barrier provides added protection to floor system from moisture or dampness that can enter from ground. A qualified contractor should inspect and repair as needed.
- (3) No attic space present. I was unable to verify type of insulation in ceiling and walls.

7.1 VENTILATION OF ATTIC AND FOUNDATION AREAS

Maintenance Or Repairs Recommended



- (1) The crawlspace areas were poorly vented at time of inspection. Without an encapsulation or adequate ventilation the crawlspace will be wet and conducive to mold growth and other moisture issues. Recommend a qualified professional make needed repairs.
- (2) **FYI:** Opinions vary on whether or not your crawlspace should be ventilated. If you have some moisture entering in then ventilation is usually recommended. Not opening the vents when moisture is present could harm your floor system or contribute to mold. A dry crawlspace that is prepared for no ventilation (other steps required), would not use the vents.

7.2 VENTING SYSTEMS (Kitchens, baths and laundry)

Informational

The dryer vent pipe duct should be cleaned at least once a year by a qualified contractor to prevent a possible fire hazard.

The insulation and ventilation of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Venting of exhaust fans or clothes dryer cannot be fully inspected and bends or obstructions can occur without being accessible or visible (behind wall and ceiling coverings). Only insulation that is visible was inspected. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

The inspector is NOT required to disturb insulation.

8. PLUMBING SYSTEM


The accessible permanently installed equipment or components are inspected for basic operation. Older fixtures or components should be budgeted for replacement. Some corrosion is common. We are not equipped to repair leaky shutoffs, therefore we do not operate fixture shutoffs. Shutoff valves should only be operated by a plumber, equipped to repair it if the valve starts leaking or breaks. Nor does the home inspector inspect and operate washing machines or washing machine fixtures. The home inspector in most cases cannot see the washing machine connections and will not be able to determine if a leak exists or not. The type of plumbing material and components in the home are described in this section of the report, as required by the South Carolina standards of practice. Please read the entire report for concerns or repair recommendations which could be present.

There are a wide variety of residential water heaters that range in capacity from fifteen to one hundred gallons. They can be expected to last at least as long as their warranty, or from five to eight years, but they will generally last longer. However, few of them last longer than fifteen or twenty years and many eventually leak. So it is always wise to have them installed over a drain pan plumbed to the exterior. Also, it is prudent to flush them annually to remove minerals that include the calcium chloride bi-product of many water softening systems. The water temperature should be set at a minimum of 110 degrees Fahrenheit to kill microbes and a maximum of 140 degrees to prevent scalding. Also, water heaters can be dangerous if they are not seismically secured and equipped with either a pressure/temperature relief valve and discharge pipe plumbed to the exterior, or a Watts 210 gas shut-off valve.

Styles & Materials		
WATER SOURCE: WELL	PLUMBING SUPPLY: NOT VISIBLE	PLUMBING DISTRIBUTION: CPVC
WASHER DRAIN SIZE: 2" DIAMETER	PLUMBING WASTE: PVC	WATER HEATER POWER SOURCE: ELECTRIC
CAPACITY: 50 GAL (2-3 PEOPLE)	MANUFACTURER: GE	

Items

8.0 INTERIOR DRAIN, WASTE AND VENT SYSTEMS

- Maintenance Or Repairs Recommended
-  (1) There is an active drain line leak at the upstairs bathroom sink. (Hallway sink). Recommend a plumber repair.





(2) FYI: During the inspection, the inspector runs all of the plumbing fixtures to check for proper drainage. However, the inspector runs the water at one plumbing fixture for 20 minutes or more to ensure the main drain line for home is not clogged or backed up.

(3) **FYI:** *The inspection of washers and dryers is outside the scope of a home inspection. Therefore, the drain for the washing machine was not evaluated. Unless otherwise noted in this report, there were no signs of leaks in this area.*

(4) It appears the home has a septic system installed. I did not visually locate the septic nor did I inspect the tank and drain lines for size or condition. Changes in water volume use can sometimes have an impact on septic tanks that before were working properly. Most septic contractors recommend that if the septic tank hasn't been pumped and inspected in the last 4-5 years, you should have it pumped and inspected visually during the inspection process to determine its true condition.



(5) The drain line at the sink at upstairs bathroom was improperly installed. (The drain line was heavily caulked) The overall quality of work appears amateur. Recommend a plumber make needed repairs.



(6) Plumbing waste line drains slowly at the upstairs bathroom sink. A cause of a slow drain can range

from a simple cleaning at stop valve or at the trap under sink. Sometimes the drain can be partially clogged down line. I am unable to determine the cause of the slow drain. A qualified licensed plumber should repair as needed.

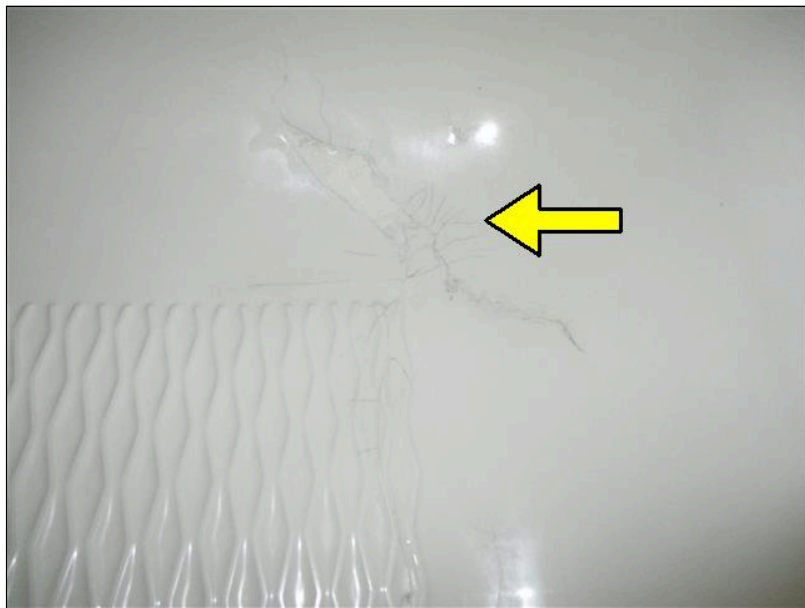
- 🏠 (7) There was an active drain line leak under the 1/2 bathroom downstairs. Recommend a plumber make needed repairs.



8.1 INTERIOR WATER SUPPLY AND DISTRIBUTION SYSTEMS AND FIXTURES

Maintenance Or Repairs Recommended

- 🏠 (1) The upstairs bathroom shower is heavily cracked and failing in areas. The shower may need replaced to prevent possible water seepage or failure. Recommend a licensed plumber make all needed repairs and/or replacements.



- 🏠 (2) The water pressure was poor at most if not all plumbing fixtures at time of inspection. Why? Recommend a plumber inspect further and make needed repairs.

8.2 HOT WATER SYSTEMS

Maintenance Or Repairs Recommended

- 🏠 (1) The water heater was operational at time of inspection. However, the bottom of the unit was heavily rusted. It appears the water heater was manufactured in 2012. Typical water heaters last around 10 years. The water heater may need replaced now.





(2) If the home will be left unoccupied for an extended period of time, I recommend turning the breaker OFF for the water heater. It is not uncommon for water heater to fail or leak if left unattended for extended periods of time.

8.3 MAIN WATER SHUT-OFF DEVICE (Describe location)

Informational

(1) The main water shut-off is located at the well pump.

(2) If home will be left unoccupied for an extended period of time, I recommend turning off the main water to prevent possible leak or damage while away.

8.4 FUEL STORAGE AND DISTRIBUTION SYSTEMS

Functional And No Major Defects Were Visible, Informational

The home has a 500 gallon propane tank and a 120 gallon propane tank installed. The fuel tanks were 80% and 85% full. There were no obvious signs of fuel leaks at time of inspection.



8.5 WELL/WELL PUMP

Not Inspected

FYI: The inspection of wells and well pumps is outside the scope of a home inspection. Therefore, the well/well pump was not evaluated during this inspection. You should contact a well/well pump installation company for further inspection.





The plumbing in the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Washing machine drain line for example cannot be checked for leaks or the ability to handle the volume during drain cycle. Older homes with galvanized supply lines or cast iron drain lines can be obstructed and barely working during an inspection but then fails under heavy use. If the water is turned off or not used for periods of time (like a vacant home waiting for closing) rust or deposits within the pipes can further clog the piping system. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

The inspector is NOT required to:

- A. inspect:
 - 1. clothes washing machine connections.
 - 2. interiors of flues or chimneys that are not readily accessible.
 - 3. wells, well pumps, or water storage related equipment.
 - 4. water conditioning systems.
 - 5. solar water heating systems.
 - 6. fire and lawn sprinkler systems.
 - 7. private waste disposal systems.
- B. determine:
 - 1. whether water supply and waste disposal systems are public or private.
 - 2. water supply quantity or quality.
- C. operate automatic safety controls or manual stop valves.

9. ELECTRICAL SYSTEMS

There are a wide variety of electrical systems, and which any one particular system may not conform to current standards or provide the same degree of service or safety. The most significant concern about a system is the fact that the NEC, National Electrical Code is not retroactive, and therefore many residential systems do not comply with the current standards. However in the interest of safety, we regard every electrical deficiency and recommended upgrade as a latent hazard that should be repaired as soon as possible by a licensed electrician before the close of escrow, because an electrician could recommend additional upgrades. We recommend upgrading outlets to Ground Fault Circuit Interrupters (GFCI's) which are a relatively inexpensive but essential safety feature and have been around for approximately 30 years and have been required in specific locations. Exterior outlets and pools were the first GFCI requirement in all residential dwellings in 1971, and the list has grew ever since, bathrooms in 1975, garages in 1978, spas and hot tubs in 1981, kitchens and basements in 1987, wet bars in 1993, and all kitchen countertop receptacles with exception of the refrigerator in 1996. **Similarly, AFCI, arc fault circuit interrupters the very latest in circuit breaker technology and have been required in all bedroom receptacles since 2002, if your home does not have them we will recommend them because there are thousands of arc fault fires each year, another simple inexpensive upgrade every home should have.**

National safety standards require electrical panels to be weatherproof, readily accessible, and have a minimum of thirty-six inches of clear space in front of them for service. Also, they should have a main disconnect, and each circuit within the panel should be clearly labeled. Industry standards only require us to test a representative number of accessible switches, receptacles, and light fixtures. However, I attempt to test every one that is unobstructed, but if a residence is furnished I will obviously not be able to test each one.

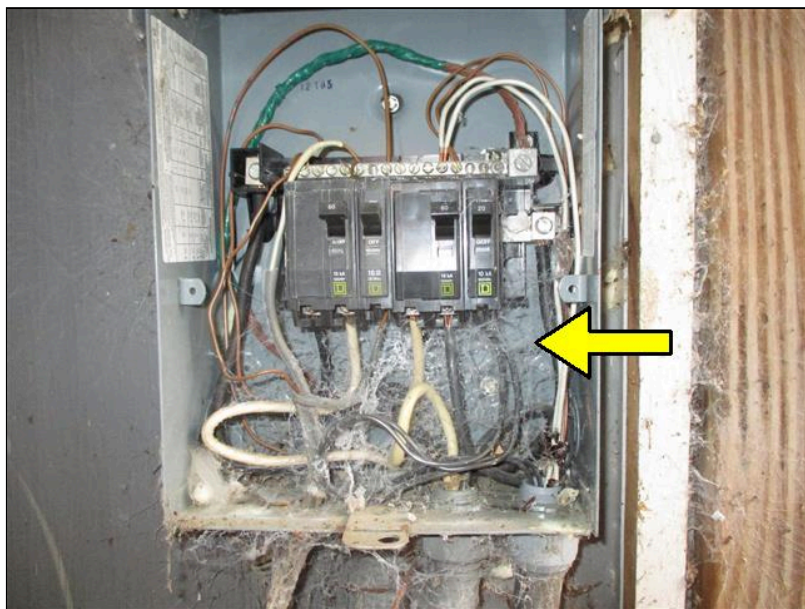
Styles & Materials		
ELECTRICAL SERVICE CONDUCTORS: BELOW GROUND ALUMINUM 220 VOLTS	PANEL CAPACITY: (2) 125 AMP (3) 200 AMP	PANEL TYPE: CIRCUIT BREAKERS
ELEC. PANEL MANUFACTURER: CUTLER HAMMER SQUARE D EATON	BRANCH WIRE 15 and 20 AMP: COPPER	WIRING METHODS: ROMEX

Items

- 9.0 SERVICE ENTRANCE CONDUCTORS
Functional And No Major Defects Were Visible
- 9.1 SERVICE AND GROUNDING EQUIPMENT, MAIN OVERCURRENT DEVICE, MAIN AND DISTRIBUTION PANELS
Maintenance Or Repairs Recommended



(1) Problem(s) discovered in outside 125 amp electric service panel near the dining room entry door such as **Doubled wiring at circuit(s), labels are missing or confusing, there were a lot of bugs and nests inside panel**, and any other problems that an electrician may discover while performing repairs should be corrected. Recommend a licensed electrician inspect further and correct as needed.



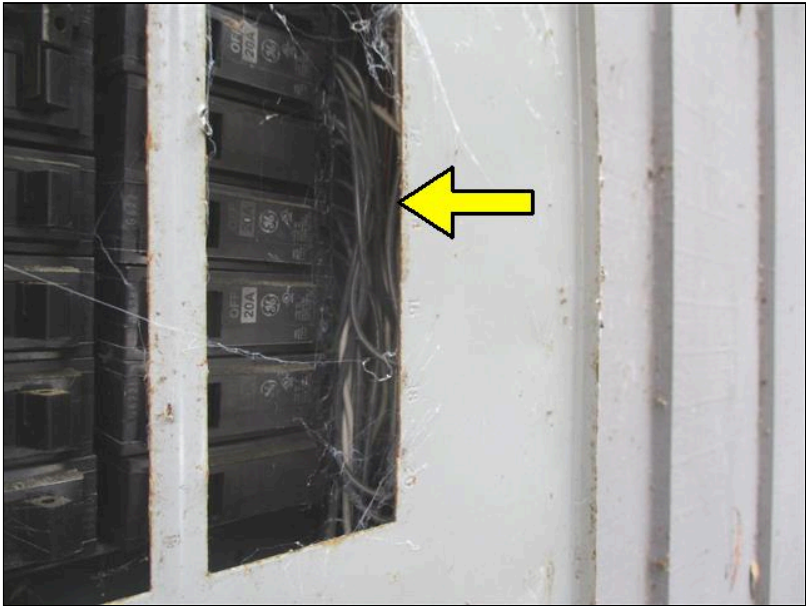
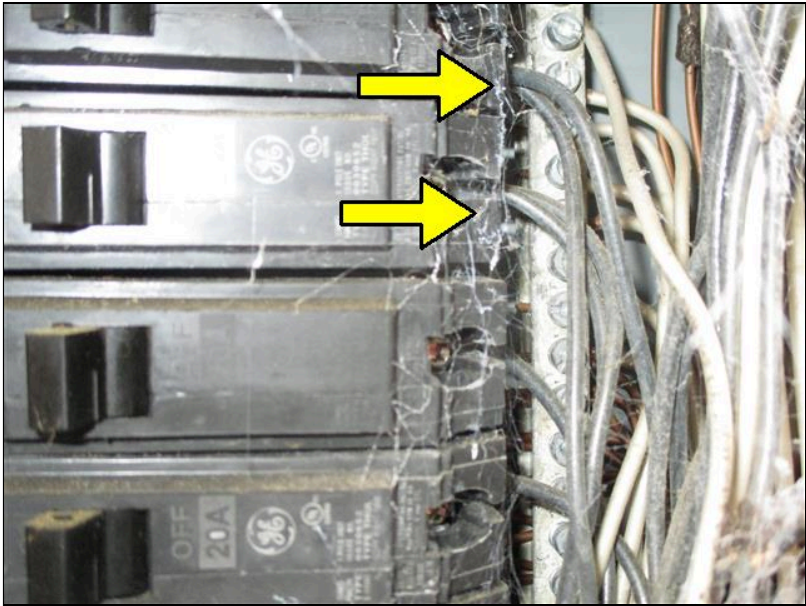


(2) The following defects were visible at the electric distribution panel at the exterior left rear of dining room portion of home:

- double wiring at circuits
- dead front cover panel is heavily bent and does not fit the panel properly leaving contacts exposed
- circuits were not labeled or identified
- bugs and bug nests inside panel

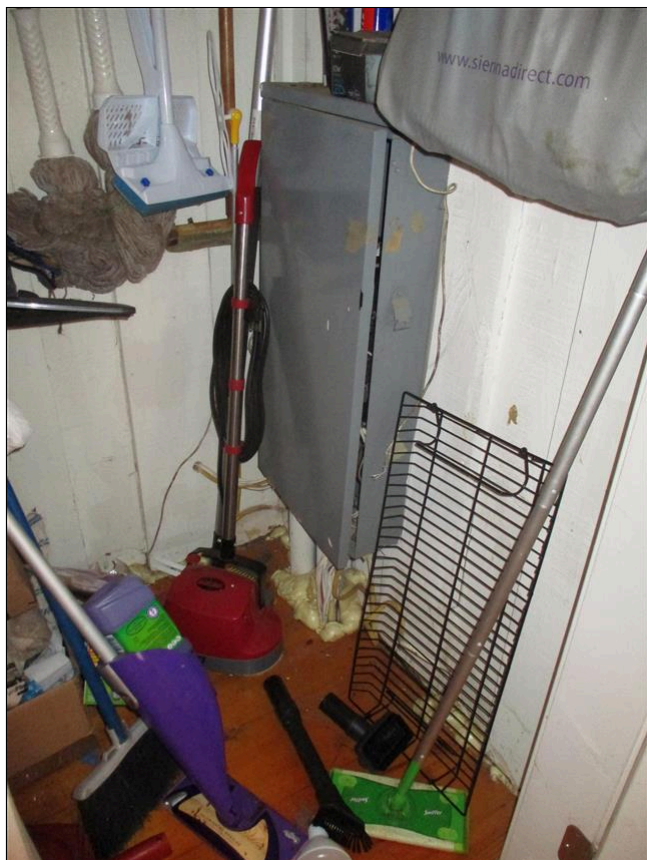
Recommend an electrician inspect further and make all needed repairs.

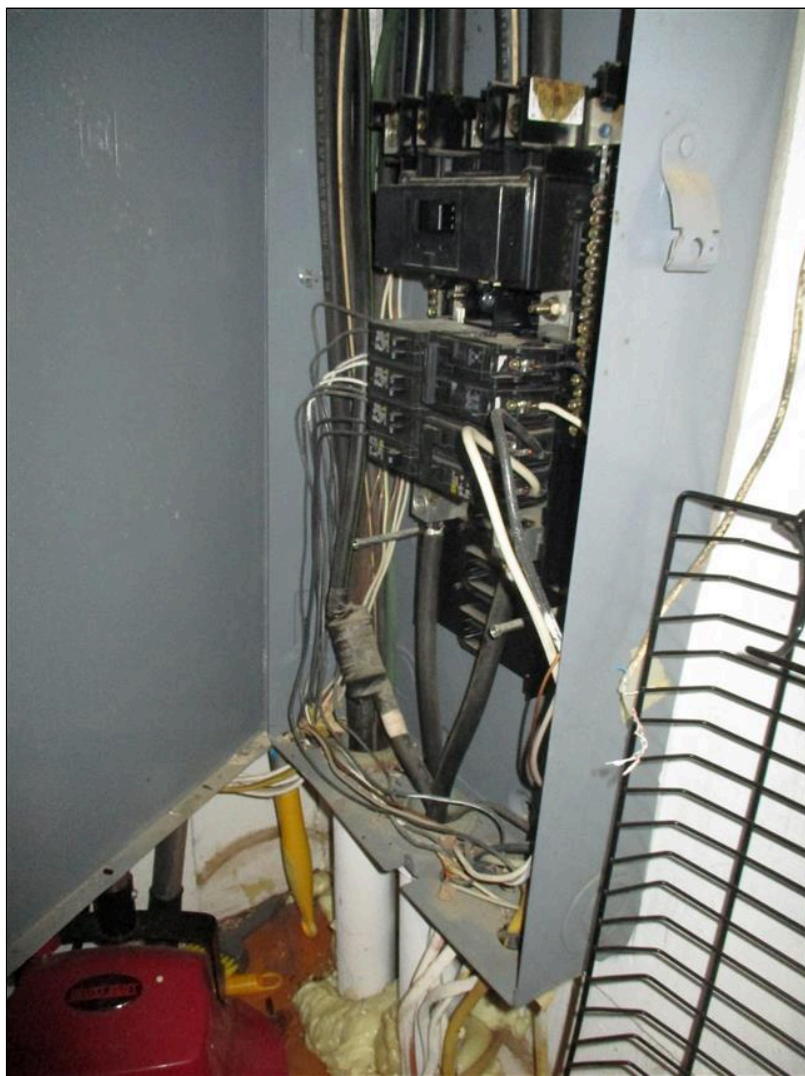
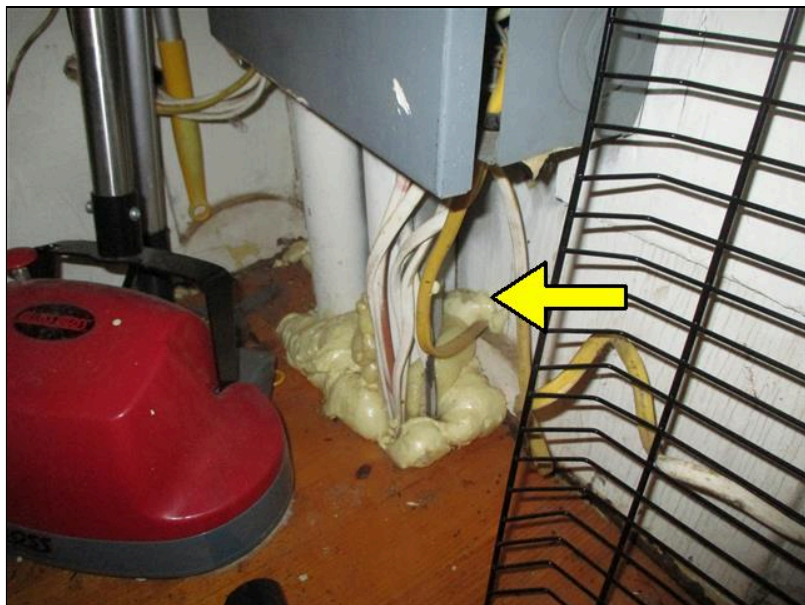




- 🏠 (3) The circuits in the electric distribution panel near the electric meter were no labeled at time of inspection. Recommend repair.
- 🏠 (4) The circuits at the 125 amp electric distribution panel in the laundry room were not labeled or identified and the electric panel had poor access. Recommend repair.
- 🏠 (5) The following defects were visible at the 200 amp electric distribution panel in the kitchen pantry:
 - the location was poor (it was too low for safety)
 - it had inadequate access
 - the dead front cover was missing leaving all the contacts exposed
 - the circuits were not labeled or identified
 - there were exposed wires below the panel

Recommend a licensed electrician inspect further and make all needed repairs now for safety.





9.2 BRANCH CIRCUIT CONDUCTORS, BREAKERS, AND COMPATIBILITY OF THEIR AMPERAGE AND VOLTAGE

Functional And No Major Defects Were Visible

9.3 ELECTRICAL DEVICES AND FIXTURES

Maintenance Or Repairs Recommended

(1) Most of the electric receptacles downstairs were installed too low. Why? Standard wall receptacle height is 1 foot from the top of the flooring to the bottom of the receptacle box, or 16 inches to the top of the box.

(2) **FYI:** The home inspector shall test a representative number of switches, lighting fixtures and receptacles, including receptacles. A representative number is number sufficient to serve as a typical or characteristic example of the item(s) inspected. It is very likely that I did NOT test every receptacle or light switch due to personal belongings that blocked access.

🏠 (3) Receptacle outlets are loose in wall at most if not all rooms of subject property. This is not uncommon with heavy use. However, a qualified person should repair.

🏠 (4) There are multiple exposed wires visible in the garage. Recommend an electrician repair for safety.

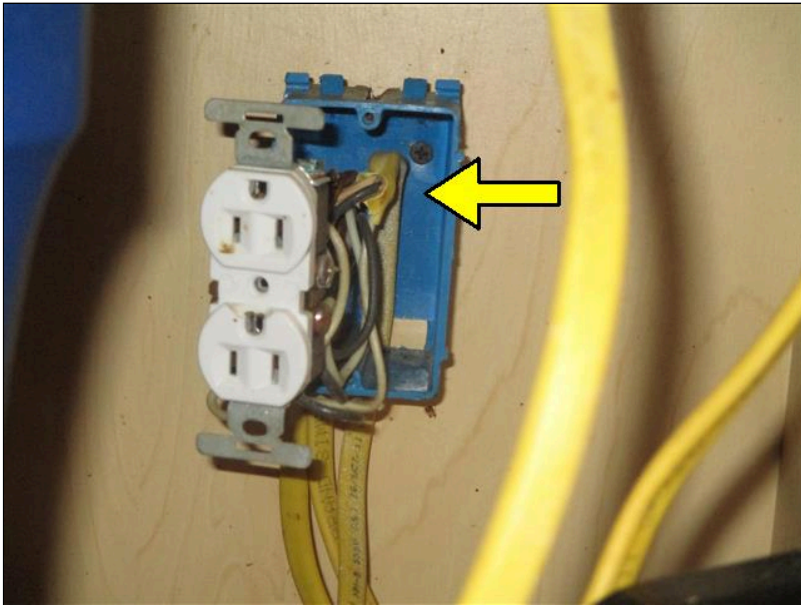




(5) There are multiple exposed and abandoned wires at the upstairs bedroom. Recommend an electrician make needed repairs for safety.



- 🏠 (6) There were multiple exposed wires and a loose electric receptacle under the kitchen sink. Recommend an electrician repair.



- 🏠 (7) There are exposed wires under the gas cooktop in kitchen. Recommend an electrician repair.



9.4 POLARITY AND GROUNDING

Maintenance Or Repairs Recommended

- 🏠 Multiple electric receptacles throughout the home revealed open grounds and reversed polarity when tested. Why? Recommend an electrician inspect further and make all needed repairs and/or replacements.

9.5 OPERATION OF GFCI (GROUND FAULT CIRCUIT INTERRUPTERS)

Maintenance Or Repairs Recommended

- 🏠 (1) The exterior electric receptacles (including in the garage) are not GFCI protected electric receptacles. Recommend an electrician repair.
- 🏠 (2) The electric receptacles in the master bathroom and 1/2 bathroom downstairs were not GFCI protected. Recommend an electrician repair.

9.6 LOCATION OF MAIN AND DISTRIBUTION PANELS

Informational

There is a 125 amp electric distribution panel near the dining room exterior door.

There is a 200 amp electric distribution panel in the kitchen pantry.

There is a 125 amp electric distribution panel in the laundry room.

There is a 200 amp electric distribution panel at the exterior left side rear of home.

There is a 200 amp electric distribution panel near the electric meter.

9.7 SMOKE DETECTORS

Maintenance Or Repairs Recommended

- 🏠 (1) The home did not have a working smoke alarm installed. Most of the smoke alarms were missing. Recommend an electrician repair.
- (2) All smoke alarms should be tested and functional prior to occupying home.
- (3) Recommend installing a carbon monoxide detector in home for safety.
- (4) **FYI:** You should replace the batteries in the smoke alarms now. Then, continue to replace the batteries every 6-9 months. Smoke alarms should be replaced every 8-10 years. [Click this link for more information.](#)

http://www.usfa.fema.gov/citizens/home_fire_prev/alarms/

9.8 GENERATOR

Not Inspected

The home has a gas powered generator installed. The inspection of generators is outside the scope of a home inspection. Therefore, the generator was not evaluated during this inspection.



The electrical system of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Outlets were not removed and the inspection was only visual. Any outlet not accessible (behind the refrigerator for example) was not inspected or accessible. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

The inspector is NOT required to:

- A. inspect :
 - 1. remote control devices.
 - 2. alarm systems and components.
 - 3. low voltage wiring systems and components.
 - 4. ancillary wiring systems and components not a part of the primary electrical power distribution system.
- B. measure amperage, voltage or impedance.

10. AIR CONDITIONING

It is recommended that you have the entire HVAC system, including the cooling system and its components properly serviced by a licensed HVAC technician at least twice a year to maintain optimum performance. Failure to do so will shorten the life of the HVAC system and possibly cause the unit to fail prematurely.

HOW A HEAT PUMP WORKS IN THE COOLING MODE: A Heat Pump is essentially an air conditioner with a few additions. A Heat Pump has a reversing valve, two metering devices and two bypass valves. This allows the same unit to provide both A/C and Heat. The compressor pumps refrigerant to the reversing valve. The reversing valve directs the flow of refrigerant to the outside coil (condenser) where the fan cools and condenses the refrigerant to liquid. The air flowing across the coil removes heat from the refrigerant. The liquid refrigerant bypasses the first metering device and flows to the second metering device at the inside coil (evaporator) and the air becomes cooler. This is the air that blows into the home. The refrigerant vapor then travels back to the reversing valve to be directed to the compressor to start the cycle all over again.

Styles & Materials		
COOLING EQUIPMENT TYPE: HEAT-PUMP PACKAGED HEAT PUMP (ONE UNIT) Extra Info : 3 Ton Unit Manufactured In 2012. 2 Ton Unit Manufactured In 2019. Both Use R410a Refrigerant	COOLING EQUIPMENT ENERGY SOURCE: ELECTRICITY	CENTRAL AIR MANUFACTURER: GOODMAN RHEEM
NUMBER OF A/C UNITS: TWO		

Items
10.0 HEAT PUMP/AIR CONDITIONING Informational, Maintenance Or Repairs Recommended



(1) The package heat pump was operational at time of inspection. However, the unit did not reveal signs of recent maintenance or service. Heat pumps should be serviced 2 times a year by a licensed HVAC technician. Recommend an HVAC technician service the unit now.



(2) The package heat pump was manufactured in 2012. Typical heat pumps last around 12-15 years. You should budget for future repairs or replacement.



(3) The 2 ton heat pump was operational. There were no obvious signs of major defects at time of inspection. Heat pumps should be serviced 2 times a year by a licensed HVAC technician. Recommend a licensed HVAC technician service the heat pump now.



(4) There are several window unit air conditioners/heaters installed upstairs. The inspection of window unit air conditioners/heaters is outside the scope of a home inspection. However, the units appeared to be in poor condition.



10.1 NORMAL OPERATING CONTROLS

Maintenance Or Repairs Recommended

There is no heating/cooling thermostat upstairs. Why?

10.2 PRESENCE OF INSTALLED COOLING/HEATING SOURCE IN EACH ROOM

Functional And No Major Defects Were Visible

The cooling system of this home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection is not meant to be technically exhaustive. The inspection does not involve removal and inspection behind service door or dismantling that would otherwise reveal something only a licensed HVAC contractor would discover (Heating, Ventilation, and Air Conditioning). Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

The inspector is NOT required to:

- A. inspect electronic air filters.
- B. determine cooling supply adequacy or distribution balance.
- C. inspect window air conditioning units.

11. HEATING

HOW A HEAT PUMP WORKS IN THE HEATING MODE: The difference between the cooling mode and the heating mode is the reversing valve directs the compressed refrigerant to the inside coil first. This makes the inside coil the condenser and releases Heat Energy. Both heating and cooling modes do exactly the same thing. They Pump Heat from one location to another. In essence the Heat is moved out of or into the home.

It is recommended that you have the entire HVAC system, including the heat system and its components properly serviced by a licensed HVAC technician at least twice a year to maintain optimum performance. Failure to do so will shorten the life of the HVAC system and possibly cause the unit to fail prematurely.

Styles & Materials		
HEAT/COOL TYPE: HEAT PUMP (FORCED AIR) PACKAGE HEAT PUMP (one unit) Heat pump and AC is located together Extra Info : 3 Ton Unit Manufactured In 2012. 2 Ton Unit Manufactured In 2019. Both Use R410a Refrigerant	ENERGY SOURCE: ELECTRIC	NUMBER OF HEATING SYSTEMS (excluding wood): TWO
HEAT/COOL SYSTEM BRAND: GOODMAN RHEEM	DUCTWORK: NOT FULLY VISIBLE	FILTER TYPE: DISPOSABLE
TYPES OF FIREPLACES: SOLID FUEL VENTED GAS LOGS		

Items
11.0 HEATING/COOLING EQUIPMENT Maintenance Or Repairs Recommended

(1) The package heat pump was operational at time of inspection. However, the unit did not reveal signs of recent maintenance or service. Heat pumps should be serviced 2 times a year by a licensed HVAC technician. Recommend an HVAC technician service the unit now.



(2) The heating system in the laundry room was operational at time of inspection. However, the unit did not reveal signs of maintenance or service at time of inspection. Heating systems should be cleaned and serviced 2 times a year by a licensed HVAC technician. Recommend an HVAC technician inspect and service the heating system now.



11.1 NORMAL OPERATING CONTROLS

Maintenance Or Repairs Recommended

There is no heating/cooling thermostat upstairs. Why?

11.2 CHIMNEYS, FLUES AND VENTS

Maintenance Or Repairs Recommended



(1) The chimney for the gas fireplace in the master bedroom has inadequate clearance. The fireplace is not safe to use in its current condition. Recommend a qualified gas technician or fireplace technician inspect further and make all needed repairs.



(2) There are a wide variety of pre-fabricated chimneys, which are constructed on site with approved components. I perform a competent inspection of them, but I am not a specialist, and my inspection of them is limited to those areas that can be viewed without dismantling any portion of them, and I cannot guarantee that any particular component is the one stipulated for use by the manufacturer. For instance, experience has taught me that many prefabricated chimneys have been fitted with architectural shrouds that are not approved by the manufacturer, and which can inhibit drafting and convectional cooling. Therefore, you may wish to have a specialist evaluate the chimney before the close of escrow.

11.3 SOLID FUEL HEATING DEVICES

Informational

We do not inspect shape of fireplace or design to determine if your fireplace has a proper air draw.

11.4 HEAT/COOL DISTRIBUTION SYSTEMS

Maintenance Or Repairs Recommended

(1) **FYI:** Most if not all HVAC manufactures recommend having the HVAC ducts cleaned once a year. Having dirty HVAC ducts could cause a potential health concern. If the HVAC ducts have not been cleaned in the past year, then they should be cleaned now.



(2) The HVAC ducts are not visible. They are located in the crawlspace in areas and in the attic. There were no access to the HVAC ducts. The ducts that were visible were losing air at connections and kinked. Recommend an HVAC technician inspect further and make all further recommendations and repairs.



11.5 PRESENCE OF INSTALLED HEAT/COOL SOURCE IN EACH ROOM

Functional And No Major Defects Were Visible

The heating system of this home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection is not meant to be technically exhaustive. The inspection does not involve removal and inspection behind service door or dismantling that would otherwise reveal something only a licensed heat contractor would discover. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

The inspector is NOT required to:

A. inspect:

1. interiors of flues or chimneys that are not readily accessible.
2. heat exchangers.
3. humidifiers or dehumidifiers.
4. electronic air filters.
5. solar space heating systems.

B. determine heat supply adequacy or distribution balance.

12. INTERIORS

Our inspection of the interior space includes the visually accessible areas of the floors, walls, ceilings and closets, and includes the testing of a representative number of windows and doors, switches and receptacles. However we do not move furniture, lift carpets or rugs, empty closets or cabinets, and we do not comment on cosmetic deficiencies. We may not comment on cracks that appear around windows and doors, or which follow the lines of framing materials or seams of the drywall or plasterboard. These cracks are the result of movement, such as wood shrinkage, common settling, and seismic activity, and will often reappear if they are not correctly repaired. Large cracks in a finish will be reported and should be further reviewed by a specialist to determine the cause and recommended repair options.

Styles & Materials		
CEILING MATERIALS: SHEETROCK WOOD	WALL MATERIAL: SHEETROCK	FLOOR COVERING(S): ENGINEERED WOOD FLOORING
INTERIOR DOORS: RAISED PANEL WOOD	WINDOW TYPES: DOUBLE-HUNG SINGLE PANE	CABINETRY: WOOD MELAMINE
COUNTERTOP: GRANITE		

Items

12.0 CEILINGS

Informational

Sheetrock ceilings have normal cosmetic defects at most if not all rooms. Nail pops and minor cracking is to be expected in a home while it settles. If condition worsens, then a qualified contractor should inspect further and repair as needed.

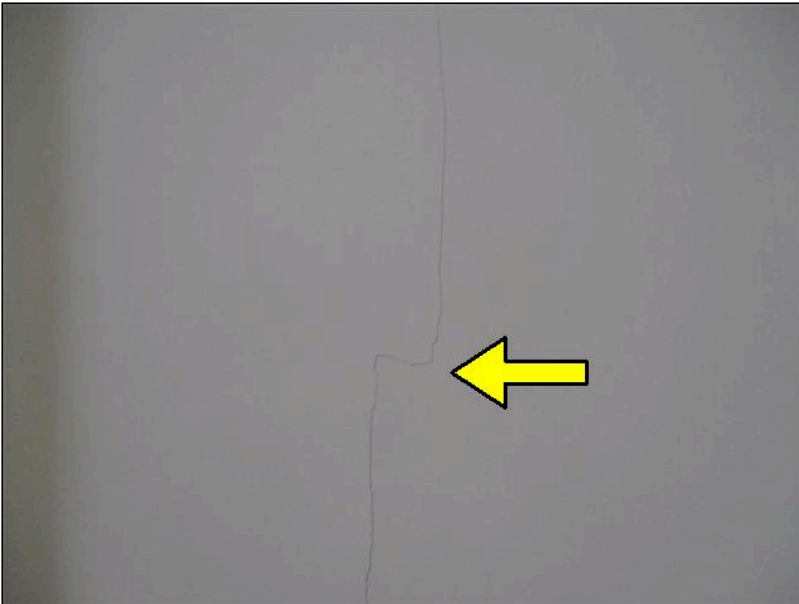
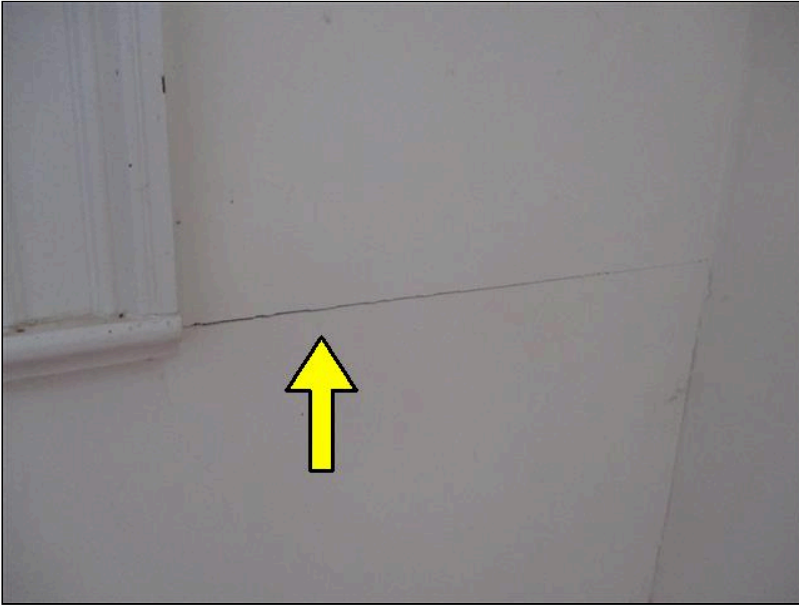
12.1 WALLS

Maintenance Or Repairs Recommended



- (1) The interior walls revealed the following non-cosmetic defects at time of inspection:
- there were multiple cracks in the sheetrock at all rooms indicating structural movement
 - multiple walls were sagging or unlevel indicating structural movement

Recommend a structural engineer evaluate the home further and make all further recommendations and repairs.





(2) Sheetrock walls have normal cosmetic defects at most if not all rooms. Nail pops and minor cracking is to be expected in a home while it settles. If condition worsens, then a qualified contractor should inspect further and repair as needed.

(3) A moisture meter was used around various windows and doors to detect possible water intrusion at time of inspection. Unless otherwise indicated in this report, no elevated moisture readings were present at time of inspection.

12.2 FLOORS

MONITOR

The floor coverings reveal multiple signs of heavy wear in areas.

12.3 COUNTERS AND A REPRESENTATIVE NUMBER OF CABINETS

MONITOR

The cabinets are aged and reveal signs of heavy wear. Budget for future repairs.

12.4 DOORS (REPRESENTATIVE NUMBER)

Functional And No Major Defects Were Visible

12.5 WINDOWS (REPRESENTATIVE NUMBER)

Maintenance Or Repairs Recommended

- 🏠 (1) The locks were missing at all windows. Why? Recommend repair.



(2) **FYI:** At least one window in every room (where applicable) has been evaluated for proper operation. Not every window can be evaluated due to personal belongings blocking access.

- 🏠 (3) Most if not all windows were screwed shut. One cannot open the windows without first removing the screws. This is preventing adequate egress. Recommend a qualified professional repair.



- 🏠 (4) Most if not all the windows were stuck or painted shut. I was unable to open any of the windows during the inspection. Recommend repair.
- (5) The home has single pane glass windows. Why? Recommend upgrading to thermal insulated windows.

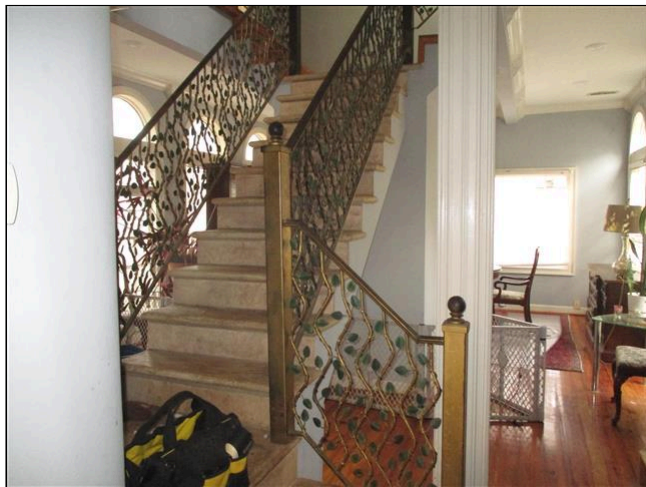
12.6 STAIRS/STEPS/HANDRAILS/BANISTERS

Maintenance Or Repairs Recommended

The interior staircase revealed the following defects at time of inspection:

- steps were too high for safety
- the ceiling height for staircase was too low (Stairways shall have a headroom clearance of not less than 80 inches)
- there were gaps between the staircase and the walls that could allow one to trip

Recommend a licensed contractor make all needed repairs.



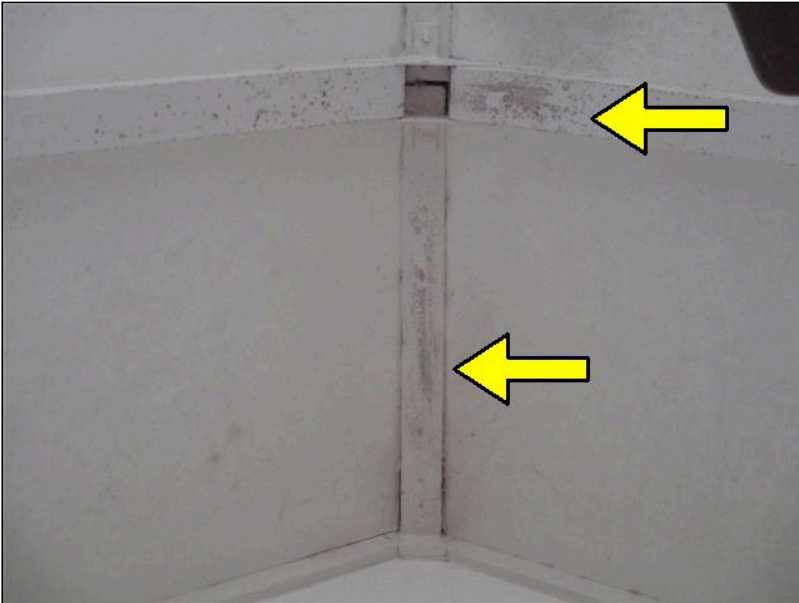


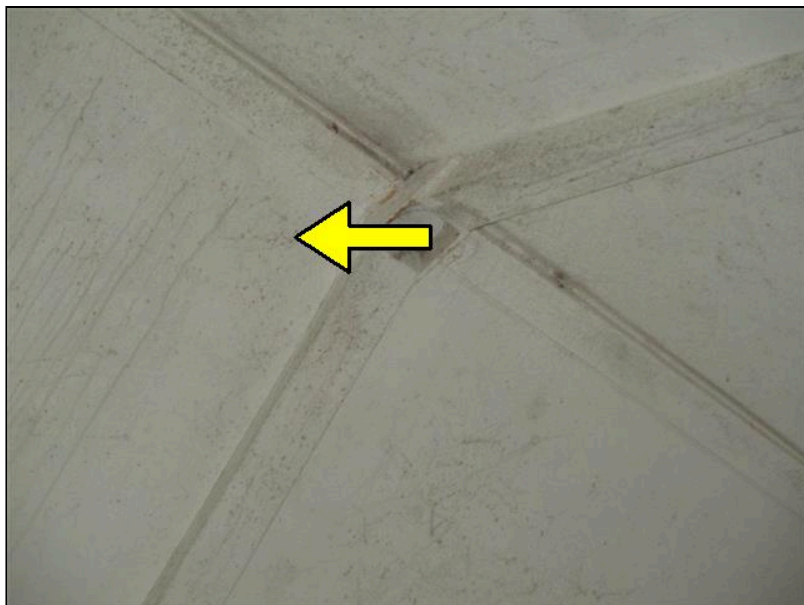
12.7 SIGNS OF POSSIBLE FUNGAL GROWTH

Maintenance Or Repairs Recommended



There are multiple signs of possible mold on most if not all surface of the home. I did not test to determine if the possible mold was toxic or a health hazard. Recommend a qualified mold cleaning professional inspect further and make all needed repairs.





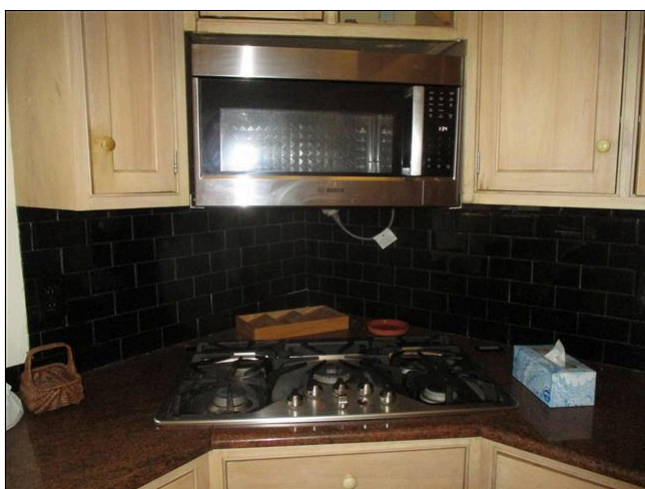
The interior of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection did not involve moving furniture and inspecting behind furniture, area rugs or areas obstructed from view. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

The inspector is NOT required to inspect :

- A. paint, wallpaper, and other finish treatments.
- B. carpeting.
- C. window treatments.
- D. central vacuum systems.
- E. household appliances.
- F. recreational facilities.

13. BUILT-IN KITCHEN APPLIANCES

Our company will visually inspect the built-in kitchen appliances for the home. Our company will test the basic function of the appliances. However, the home inspector is not required to observe: Clocks, timers, self-cleaning oven function, or thermostats for calibration or automatic operation; Non built-in appliances; or Refrigeration units. The home inspector is not required to operate: Appliances in use; or Any appliance that is shut down or otherwise inoperable.



Styles & Materials

EXHAUST/RANGE HOOD:
RE-CIRCULATE

Items

13.0 DISHWASHER

Functional And No Major Defects Were Visible

FYI: Our inspection of a dishwasher is limited. We cannot access the pumps, control sensors, drain lines, supply lines and motors and therefore cannot evaluate the condition of those components. We test the dishwasher by letting it run an entire cycle and allowing it to drain. If it operates and drains at time of inspection it is considered Functional. I have seen even new dishwashers fail shortly after a home inspection. We cannot guarantee or warranty any part of the dishwasher after the inspection.

13.1 RANGES/OVENS/COOKTOPS

Maintenance Or Repairs Recommended



- (1) The cooktop did not turn on at time of inspection. Why? Recommend repair.
(2) The double oven is aged and in poor condition. The unit may need replaced soon.

13.2 RANGE HOOD

Functional And No Major Defects Were Visible

13.3 FOOD WASTE DISPOSER

Functional And No Major Defects Were Visible

13.4 MICROWAVE COOKING EQUIPMENT

Maintenance Or Repairs Recommended



The microwave was operational. However, the unit was poorly installed. It was crooked and appeared to be poorly mounted. Recommend repair or replace.

**13.5 REFRIGERATOR**

Maintenance Or Repairs Recommended



The freezer was full of ice indicating the defrost cycle was not working. Recommend a qualified professional repair or replace.



The built-in appliances of the home were inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

14. PRE-CLOSING WALK THROUGH

The walk-through prior to closing is the time for the CLIENT to inspect the property. Conditions can change between the time of a home inspection and the time of closing. Restrictions that existed during the inspection may have been removed for the walk-through. Defects or problems that were not found during the home inspection may be discovered during the walk-through. CLIENT should be thorough during the walk-through.

Any defect or problem discovered during the walk-through should be negotiated with the owner/seller of the property prior to closing. Purchasing the property with a known defect or problem releases BUCKEYE HOME INSPECTIONS and SHANE BOYD of all responsibility. CLIENT assumes responsibility for all known defects after settlement.

Items

15. IF THINGS GO WRONG

When Things Go Wrong

There may come a time when you discover something wrong with the house you purchased, and you may be upset or disappointed with your home inspection. There are some things we'd like you to keep in mind.

Intermittent Or Concealed Problems:

Some problems can only be discovered by living in a house. They cannot be discovered during the few hours of a home inspection. For example, some shower stalls leak when people are in the shower, but do not leak when you simply turn on the tap. Some roofs and basements only leak when specific conditions exist. Some problems will only be discovered when carpets are lifted, furniture is moved or finishes are removed.

No Clues:

These problems may have existed at the time of the inspection, but there were no clues as to their existence. Our inspections are based on the past performance of the house. If there are no clues of a past problem, it is unfair to assume we should foresee a future problem.

We Always Miss Some Minor Things:

Some say we are inconsistent because our reports identify some minor problems, but not others. The minor problems that are identified were discovered while looking for more significant problems. We note them simply as a courtesy. The intent of the inspection is not to find the **\$200 problems**; it is to find the **\$2,000 problems**. These are the things that affect people's decisions to purchase.

Contractor's Advice:

A common source of dissatisfaction with home inspectors comes from comments made by contractors. Contractor's opinions often differ from ours. Don't be surprised when three roofers all say the roof needs replacement, when we said that the roof would last a few more years with some minor repairs.

Last Man In Theory:

While our advice represents the most prudent thing to do, many contractors are reluctant to undertake these repairs. This is because of the last man in theory. The contractor fears that if he is the last person to work on the roof, he will get blamed if the roof leaks, regardless of whether or not the roof leak is his fault. Consequently, he won't want to do a minor repair with high liability, when he could re-roof the entire house for more money and reduce the likelihood of a callback. This is understandable.

Most Recent Advice Is Best:

There is more to the last man in theory. It suggests that it is human nature for homeowners to believe the last bit of expert advice they receive, even if it is contrary to previous advice.

As home inspectors, we unfortunately find ourselves in the position of first man in and consequently it is our advice that is often disbelieved.

Why Didn't We See It?

Contractors often say, I can't believe you had this house inspected, and the inspector didn't find this problem. There are several reasons for these **apparent** oversights:

Most Contractors Have No Clue What's Inside or Outside The Scope Of A Standard Home Inspection:

All of our inspections are conducted in accordance with the Standards of Practice of The American Society of Home Inspectors. The Standards of Practice specifically state what's included and excluded from the standard home inspection.

Most contractors have no clue this document exists and many of them have a tendency to "blame the Home Inspector" for any issue found, regardless of whether the issue is within the "scope" of the standard home inspection.

Conditions During The Inspection: It is difficult for homeowners to remember the circumstances in the house at the time of the inspection. Homeowners seldom remember that it was snowing, there was storage everywhere or that the furnace could not be turned on because the air conditioning was operating, etc. It's impossible for contractors to know what the circumstances were when the inspection was performed.

The Wisdom Of Hindsight: When the problem manifests itself, it is very easy to have 20/20 hindsight. Anybody can say that the basement is wet when there is 2 feet of water on the floor. Predicting the problem is a different story.

A Long Look: If we spent half an hour under the kitchen sink or 45 minutes disassembling the furnace, we'd find more problems, too. Unfortunately, the inspection would take several days and would cost considerably more.

We're Generalists: We are generalists; we are not specialists. The heating contractor may indeed have more heating expertise than we do. This is because we are expected to have heating expertise and plumbing expertise, structural expertise, electrical expertise, etc.

An Invasive Look: Problems often become apparent when carpets or plaster are removed, when fixtures or cabinets are pulled out, and so on. A home inspection is a visual examination. We don't perform invasive or destructive tests.

Not Insurance: In conclusion, a home inspection is designed to better your odds of not purchasing a "money pit".

It is not designed to eliminate all risk. For that reason, a home inspection should not be considered an insurance policy. The premium that an insurance company would have to charge for a policy with no deductible, no limit and an indefinite policy period would be considerably more than the fee we charge. It would also not include the value added by the inspection.

We Hope This Is Food For Thought!

Items



INVOICE

Buckeye Home Inspections
182 Camrose Way
Myrtle Beach, SC 29588
(843) 458-1629
Inspected By: Shane Boyd

Inspection Date: 12/4/2023
Report ID:

Customer Info:	Inspection Property:
Customer's Real Estate Professional:	455 Crow Hill Dr. Georgetown SC 29440

Inspection Fee:

Service	Price	Amount	Sub-Total
Home Inspection	550.00	1	550.00
			Tax \$0.00
			Total Price \$550.00

Payment Method: No Deposit Collected
Payment Status: Invoice Sent
Note: Thank you for choosing Buckeye Home Inspections.



Buckeye Home Inspections

**182 Camrose Way
Myrtle Beach, SC 29588
(843) 458-1629**

Report Attachments

ATTENTION: This inspection report is incomplete without reading the information included herein at these links/attachments. Note If you received a printed version of this page and did not receive a copy of the report through the internet please contact your inspector for a printed copy of the attachments.

[Life Expectancy Chart](#)